

Open House Meeting

April 28, 2017

Dear *Property Owner* or *Neighborhood Association President*:

We are pleased to inform you that our company has recently filed *Design Review application number 9-DR 2017* for a climate controlled self-storage building "CubeSmart" located at **11000 N. 115th Street, Scottsdale AZ, Parcel size: +/- 297,116 (+/- 6.82 Acres) Existing zoning C-4 General Commercial.** The project will be presented at an upcoming meeting, details below. We invite the local community to attend this meeting to learn about this project and have an opportunity to ask any questions.

Location: Auditorium at Mustang Library

Address: 10101 North 90th Street, Scottsdale, AZ 85258

Date and Time: Wednesday May 10th from 6:00 p.m. to 7:00 p.m.

Our request includes the demolition of two-and-a-half existing single-story non-climate-controlled self-storage buildings totaling 12,605 Gross SF to create space for a brand new state-of-the-art three-story 55,800 Gross SF fully climate controlled self-storage building (18,600 SF footprint, 36' high); special consideration on the design have been given to ensure privacy for the residential neighborhood.

Most of the existing property will remain unchanged. The areas impacted by new construction include the site perimeter adjacent to the new building and a few remodeled parking islands under overhead electrical transmission lines.

CubeSmart is a national owner and operator focused on continually enhancing their stores by applying many years of management expertise to each property. Their self-storage facilities are designed to offer affordable, easily accessible storage space for residential and commercial customers. As such, the improvements will provide ADA access to the property from the street.

The architectural character of the new building will reflect the detailing of the neighboring multi-story and single-story office buildings, multi-family residential, and shopping centers. The style will be a modern western regional character. The façade of the building is clad in an EIFS system painted with desert inspired colors, with brick veneer accents and wainscoting, and metal canopies. These materials and patterns meet the City of Scottsdale's design requirements.

CubeSmart Hours of Operation:

Office & Service Hours: Monday-Friday: 9:30 AM-6:00 PM
 Saturday: 8:30 AM-5:00 PM
 Sunday: 11:00 AM-3:00 PM

Storage Gate Hours: Monday-Sunday: 6:00 AM-10:00 PM

We would be happy to answer any questions or hear any concerns that you may have regarding this proposal. You may reach us at **480-894-3478** or don@adgarch.net; rosa@adgarch.net or by fax at **480-894-4013**.

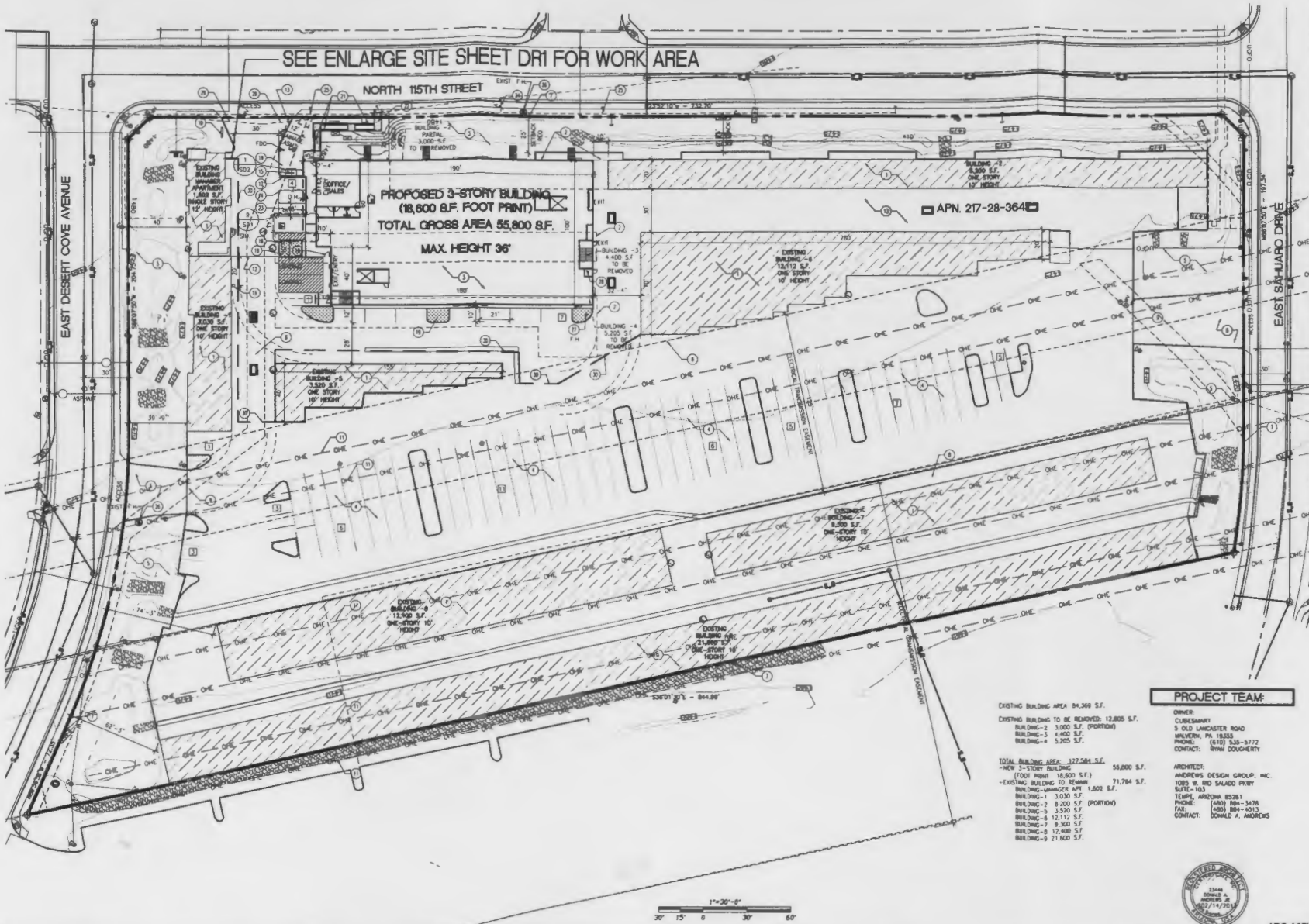
City of Scottsdale project coordinator Meredith Tessier 480-312-4211 or at mtessier@ScottsdaleAZ.gov

CubeSmart Manager of Site Design Ryan Dougherty 610-535-5772 or at rdougherty@cubesmart.com | www.cubesmart.com

Sincerely,

Don Andrews
Andrews Design Group, Inc.
President
1095 W. Rio Salado Pkwy. Suite 103
Tempe AZ, 85281

Attachments
Site plan
Building Elevations



SEE ENLARGE SITE SHEET DRI FOR WORK AREA

NORTH 115TH STREET

EAST DESERT COVE AVENUE

EAST SAHARA DRIVE

PROPOSED 3-STORY BUILDING
(18,600 S.F. FOOT PRINT)
TOTAL GROSS AREA 55,800 S.F.
MAX. HEIGHT 36'

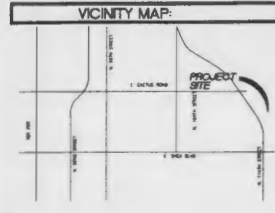
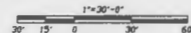
APN. 217-28-364

EXISTING BUILDING AREA 84,369 S.F.
EXISTING BUILDING TO BE REMOVED: 12,805 S.F.
BUILDING-2 3,000 S.F. (PORTION)
BUILDING-3 4,400 S.F.
BUILDING-4 5,400 S.F.
TOTAL BUILDING AREA 127,084 S.F.
-NEW 3-STORY BUILDING 55,800 S.F.
(FOOT PRINT 18,600 S.F.)
-EXISTING BUILDING TO REMAIN 71,794 S.F.
BUILDING-MANAGER APT 1,802 S.F.
BUILDING-1 3,000 S.F.
BUILDING-2 8,200 S.F. (PORTION)
BUILDING-5 3,570 S.F.
BUILDING-6 12,112 S.F.
BUILDING-7 8,300 S.F.
BUILDING-8 12,400 S.F.
BUILDING-9 21,600 S.F.

PROJECT TEAM:

OWNER:
CUBESMART
5 OLD LANCASTER ROAD
MILVERTON, PA 18333
PHONE: (610) 535-5772
CONTACT: RYAN DOUGHERTY

ARCHITECT:
ANDREWS DESIGN GROUP, INC.
1005 W. RIO SALADO PKWY
SUITE-103
TEMPE, ARIZONA 85281
PHONE: (480) 804-3478
FAX: (480) 804-4013
CONTACT: DONALD A. ANDREWS



PROJECT DATA:

ADDRESS: 11000 N 115TH STREET, SCOTTSDALE AZ 85248
PARCEL: APN 217-28-384
SITE NET AREA: 4297.134 S.F. (96.82 AC)
EXISTING ZONING: C-4 GENERAL COMMERCIAL
MAXIMUM BUILDING HEIGHT ALLOW 36' MAX / PROVIDED 36'
TOTAL GROSS FLOOR AREA: 130,114 S.F.
MAXIMUM FAR ALLOW 232,702 S.F.
(0.88 MULTIPLIED BY NET LOT AREA)
FAR PROVIDED: 127,564 S.F.
PARKING REQUIREMENTS:
WAREHOUSES, 1000
ONE (1) SPACE PER THREE HUNDRED (300) SQUARE FEET OF GROSS FLOOR AREA OF ADMINISTRATIVE OFFICE SPACE.
PLUS ONE (1) SPACE PER EACH FIFTY (50) STORAGE SPACES.
MANAGER RESIDENCE 2 P.S.
MANAGER APT: ADMINISTRATIVE OFFICE 800 S.F./300 = 2 P.S.
STORAGE SPACES 2000/50 = 10.18 P.S.
TOTAL PARKING REQUIRED = 24 P.S.
PARKING PROVIDED: 24 P.S. INCLUDING ONE ACCESSIBLE PARKING

KEY NOTES:

- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMO
- PROPOSED BUILDING, SEE FLOOR PLANS
- EXISTING PARKING & DRV TO REMAIN
- EXISTING LANDSCAPE TO REMAIN
- EXISTING ACCESS
- PROPERTY LINE
- EASEMENT
- EXISTING GATE
- EXISTING SIGN
- EXISTING OVERHEAD UTILITY
- PROPOSED GATE
- EXISTING ACCESS, DRIVEWAY TO BE REWORK, SEE CIVIL
- PARKING
- BIKE RACK PER CITY OF SCOTTSDALE SIGNAGE DETAILS
- KEY PAD
- PARKING WILL BE LOWER THAN STREET VIEW BY MORE OF 3'-0" THEREFORE NO SCREEN WALL WILL BE REQUIRED.
- MAIN GATE
- LANDSCAPE PARKING
- FDC, SEE CIVIL
- ACCESSIBLE RAMP WITH RAILING
- SOCKBALK TO MATCH EXISTING
- SEE CIVIL FOR GRADE CHANGE. (OVER 6" HEIGHT RAILING WILL BE PROVIDED)
- EXISTING SOCKBALK
- EXISTING STREET LIGHTS
- EXISTING FIRE HYDRANT TO REMAIN
- PROPOSED FIRE HYDRANT, SEE CIVIL
- FIRE RISER ROOM
- VISIBILITY SIGN, SEE LANDSCAPE
- LIMIT OF WORK, SEE CIVIL



ADG A2216

ADG Andrews Design Group, Inc.

SITE PLAN
SCALE: 1"=40'-0"



CUBESMART STORAGE FACILITY
11000 N. 115TH STREET
SCOTTSDALE, AZ

No.	DATE	REVISION

DRO

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

1005 W. RIO BALADO PKWY, SUITE-103 TEMPE, ARIZONA 85281 (480) 804-3478 FAX: (480) 804-4013

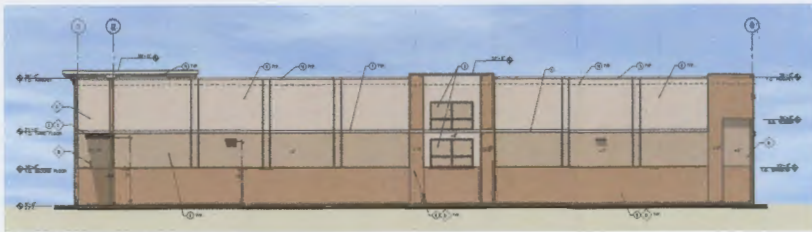
DATE: 02/20/17



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - STREET SIDE
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

1. CLEAR ALUMINUM STOREFRONT SYSTEM.
2. METAL CANOPY.
3. BI-PARTING GLASS WITH MOTION SENSOR DOOR.
4. FIRE RISER ROOM SIGNAGED AT DOOR.
5. S.I.S. ROOM SIGNAGED AT DOOR.
6. EPS OVER METAL STUD WALL, SEE FLOOR PLAN FOR WALL THICKS.
7. EPS 1/2" SCORE LINE.
8. BRICK/CHU VENEER.
9. EPS SCORE LINE.
10. OFFICE SIGN, UNDER SEPARATE SUBMITTAL AND PERMIT.
11. MATI-FINISH METAL CANOPY.
12. ROOF DRAIN TO DRY LIGHT, SEE CHG.
13. HVAC UNIT FULLY SCREENED BEHIND PARAPET.
14. SIGNAGE UNDER SEPARATE SUBMITTAL AND PERMIT.
15. METAL FLASHING, PAINTED.
16. ROOF LINE, BEHIND.

NOTE:
MECHANICAL EQUIPMENT
ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
ALL SIGNAGE UNDER SEPARATE SUBMITTAL AND PERMIT.

KEY PLAN



FINISH SCHEDULE

NO.	DESCRIPTION	FINISH	REV.
1	FIELD COLOR	SW - BUCKER	REV: 48
2	FIELD COLOR	SW 7335 - SANDY RIDGE	REV: 28
3	ACCENT COLOR	SW 1102 - CHEVILLE WHITE	REV: 83
4	BRICK	MCHEAR - DUNSMuir	
5	CANOPY (BALLIONS TO MATCH)	WALSPAR - DARK BRONZE 3074009	
6	GLAZING	LOW E GLASS	



ADG A2618



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EXTERIOR ELEVATIONS

CUBESMART STORAGE FACILITY
11000 N. 115TH STREET
SCOTTSDALE, AZ

NO.	DATE	REVISION

DR4

ARCHITECTURE PLANNING INTERIORS PROJECT MANAGEMENT

1005 W. RIO SALADO PKWY, SUITE-103 TEMPE, ARIZONA 85281 (480) 894-3478 FAX: (480) 894-4013

DATE: 02/21/17