

BEUS GILBERT

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66093-000006

October 18, 2016

VIA U.S. MAIL

Re: Proposed Conditional Use Permit: "The Outpost" – Gas Station.
Pre-Application Case: # 445-PA-2016.
Northwest corner of Pima Rd. & Dynamite Blvd.
Approx. 1 acre (CUP Request)/Overall Site approx. 8.6 acres

Dear Property Owner or Interested Party:

This letter is being sent to all interested parties and Neighborhood Associations and property owners within 750 feet (as well as many of those who provided addresses during the recent rezoning and general plan amendment cases public process) to inform you that our firm will be filing a Conditional Use Permit ("CUP") request on behalf of the landowner for a gas station on approximately a one (1) acre site within an overall 8.6 acre site. The site is located at the northwest corner of Pima Road and Dynamite Boulevard (the "Property") (See the attached – *Aerial Location Map*.) This request will allow for a gas station combined with a market designed by Swaback Partners.

The landowner is committed to fulfilling and developing the contemplated design discussed/presented at the hearings for the general plan amendment and rezoning cases. The proposed gas station will provide a more western/Sonoran Desert design theme consistent with the proposed design paradigm for the overall 8.6 acre center, which will blend within the context of the area. (See the attached – *Site Plan and Conceptual Elevation*).

To that end, we will be having a neighborhood meeting to discuss the CUP request. The neighborhood meeting details are as follows below.

NEIGHBORHOOD MEETING

Wednesday, November 2, 2016, at 6:00 PM
Copper Ridge School: Cafeteria
10101 E. Thompson Peak Parkway

For directions, please see the attached Neighborhood Meeting Location Map

We invite you to attend the Neighborhood Meeting, but if you cannot attend please feel free to contact the landowner's representative.

Beus Gilbert PLLC c/o Dennis M. Newcombe

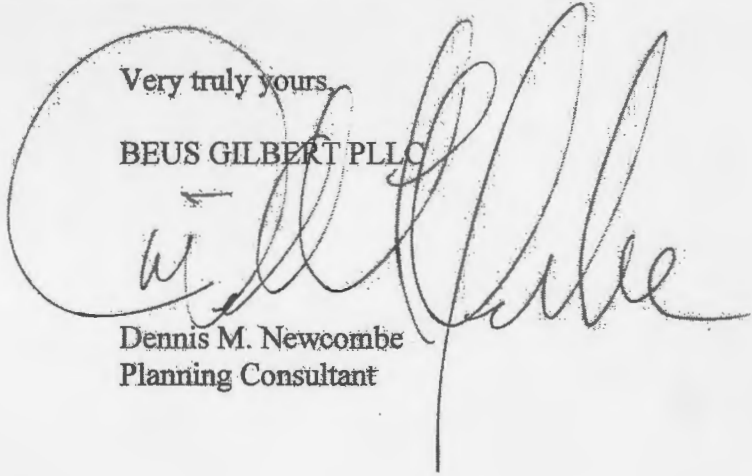
(480) 429-3060 – or – via e-mail: dnewcombe@beusgilbert.com

In addition, the City of Scottsdale Project Coordinator for this project will be Jesus Murillo who can be reached by phone at (480) 312-7849 or by email at jmurillo@scottsdaleaz.gov.

Again, thank you for your time, consideration, and openness with us as we move forward through the public process for this Conditional Use Permit request.

Very truly yours,

BEUS GILBERT PLLC


Dennis M. Newcombe
Planning Consultant

Attachments:

Aerial Location Map
Site Plan
Elevation
Neighborhood Meeting Location Map